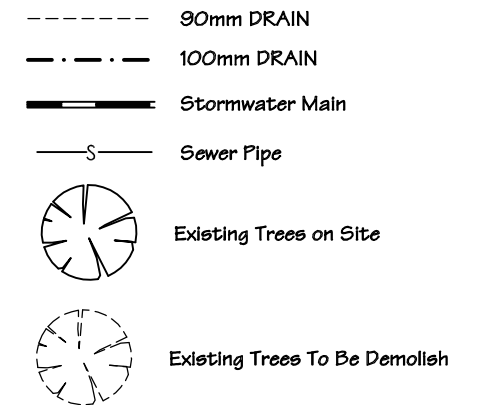


STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

FOOTINGS NOT TO ENCRoACH TITLE BOUNDARIES AND EASEMENT LINES.



DATUM ASSUMED: RL 10.00  
 CONTOUR INTERVALS: 0.20 Metres

WATER CONNECTION: (BY THE BUILDER)  
 20mm Line from water meter to entry point.  
 (DRY TAPPING)  
 WASTE DISPOSAL: (BY THE BUILDER)  
 Connection to mains sewer in accordance with local authority requirements.

ROOFWATER DISPOSAL: (BY THE BUILDER)  
 Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.

POWER CONNECTION:  
 Connection to Overhead line by builder.  
 Connection of power to main line by Electricity Authority.

EARTHWORKS: (BY THE BUILDER)  
 Site Cut & Fill to create a level building platform. Remove Spoil from Site. Earthworks indicated on the plan are for construction purposes only.

Note: Site Cut & Fill levels may vary due to Site Conditions

GAS CONNECTION:  
 Installation of underground line to mains by the builder. Connection to mains by gas authority upon application by the builder.

DOWNPIPES TO BE DETERMINED ON SITE BY PLUMBER AT MAX 12000 CTS.

MAXIMUM GRADE OF 1:2 TO ALL UNRETAINED EXCAVATIONS

PROVIDE MINIMUM 1000mm CLEAR TO SKY ANY HABITABLE ROOM WINDOW.

**SITE PLAN**  
 SCALE 1:200

- o BUILDER IS TO CONNECT NEW DOWNPIPES TO EXISTING STORM WATER DRAIN SYSTEM VIA 90MM DIAMETER CLASS 6 UPVC SWD WITH MINIMUM 1:100 GRADE & 100MM EARTH COVER
- o BUILDER IS TO CHECK RUN OF EXISTING SWD SYSTEM ON SITE PRIOR TO COMMENCEMENT OF WORKS.
- o BUILDER IS TO GRADE NEW GUTTERS TOWARD EXISTING ADJOINING DOWNPIPES - NO ALTERATIONS TO EXISTING SWD SYSTEM BY BUILDER.
- o BUILDER TO DISCHARGE NEW DOWNPIPES OVER ROOF BELOW VIA SPREADERS WHERE REQUIRED.

BUILDING SITE COVERAGE: 32%  
 TOTAL HARD SURFACES: 47.7%  
 TOTAL PERMIABLE SURFACE: 52.3%

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	<p>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</p>	<p>11/07/17</p>		<p>JOB No.: 17006</p>	<p>SHEET: A3</p>
	<p>- Revision as building surveyor checklist</p>	<p>06/09/17</p>		<p>CAD FILE No.: 17006WD</p>	<p>COUNCIL: STONNINGTON</p>
	-	-		<p>DATE: 28/03/17</p>	<p>REV: 29/11/17</p>
	-	-		<p>DRAWN: S.E.</p>	<p>SHEET: 1 OF 16</p>



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 ABN 30 118 329 123  
 ACN 118 329 123

# General Notes:

THE OWNER, BUILDER, & TRADESPEOPLE MUST VERIFY ALL DIMENSIONS, LEVELS, INFORMATION, DETAILS, SIZES, SETBACKS, HEIGHTS, AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING ANY MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING ALL BUILDING WORKS CONFORM WITH THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS), LOCAL BY - LAWS BUILDING REGULATIONS AND ANY TOWN PLANNING REQUIREMENTS.

1. WET AREAS IN ACCORDANCE WITH BCA REQ'S

2. STEPS: TREAD - 240 MIN/ 355 MAX. RISER - 115MIN / 190 MAX.

ALL BALUSTRADING TO BE PROVIDED, TO STAIR OR TO BALCONIES, TO BE MINIMUM 865mm ABOVE STAIR NOSING AND 1000mm MIN. AT LANDING LEVELS. BALUSTRADES SPACED AT 125mm MAXIMUM

3. LANDINGS SHOULD BE PROVIDED TO COMPLY WITH BCA PART 3.9.1.3. LANDINGS ARE TO BE PROVIDED WHERE THE SILL OF A THRESHOLD OF A DOORWAY OPENS ONTO A STAIR THAT PROVIDES A CHANGE IN FLOOR LEVEL OR FLOOR TO GROUND LEVEL GREATER THAN 3 RISERS OR 570mm. LANDINGS TO BE A MINIMUM 750mm WIDE. ALL STAIR CONSTRUCTION TO BE IN ACCORDANCE WITH BCA PART 3.9.

4. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS

5. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPS OR STRUCTURAL DRAWINGS.

6. ALL TIMBER FRAMING SHALL COMPLY WITH A.S 1684 - 2010 NATIONAL TIMBER FRAMING

7. ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF A.S. 1288 - GLASS INSTALLATION CODE - LATEST 2006. PROVIDE GRADE 'A' SAFETY GLASS TO THE BTH. ROOM WINDOW UNLESS THE BATH IS 2.0m BELOW THE WINDOW SILL, AS PER A.S. 1288 - 2006 ALL WINDOWS TO COMPLY WITH AS 2047-1999

9. SMOKE DETECTORS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 - 1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2, OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, THEY SHALL BE HARD WIRED WITH BATTERY BACKUP.

10. BUILDING SHALL BE PROTECTED FROM TERMITE INFESTATION, IF DEEMED NECESSARY, IN ACCORDANCE WITH THE RELEVANT AUST. STANDARD.

11. PROVIDE MIN. R2.5 INSULATION TO CEILING & PROVIDE MIN. R1.5 SISALATION TO WALLS. (OR AS SPECIFIED BY ENERGY REPORT SUPPLIED).

12. ALL VENTILATION SHALL CONFORM WITH B.C.A. P.2.4.5

13. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW & EXISTING WORKS.

14. WHERE REQUIRED PROVIDE SUB FLOOR VENTILATION IN ACCORDANCE WITH B.C.A. CLAUSE 3.4.12 AND PROVIDED AT A RATE OF 6000mm<sup>2</sup> / M OF WALL WITH A MINIMUM SUB FLOOR CLEARANCE OF 150mm ( AND 400mm WHERE TERMITE INSPECTION IS REQUIRED.

15. AJ: DENOTES BRICK ARTICULATION JOINTS. LOCATIONS TO BE IN ACCORDANCE WITH B.C.A. CLAUSE 3.3.1.8 OR AS PER THE RECOMMENDATIONS OF THE SOIL REPORT

16. DOORS TO SANITARY COMPARTMENTS WITHIN 1.2M OF THE EDGE OF THE PAN MUST EITHER OPEN OUTWARDS, SLIDE OR BE PROVIDED WITH LIFT OFF HINGES. SANITARY COMPARTMENTS TO COMPLY WITH BCA CLAUSE 3.8.3.4.

17. STORMWATER DRAINAGE MATERIAL TO BE LAID IN ACCORDANCE WITH AS/NZS 3500.3.2 & BCA PART 3.1.2 OF THE BCA AND GENERALLY CONSISTS OF:

- 90mm DIAMETER UPVC PIPE WITH A MIN 300mm COVER UNDER SOIL
- 100mm DIAMETER UPVC PIPE WITH A MIN 200mm COVER UNDER LIGHT TRAFFICABLE AND PAVED AREAS
- LAID AT A MIN. GRADE OF 1:100 TO THE LEGAL POINT OF DISCHARGE AS SHOWN.
- PROVIDE 1.0's AT CHANGE OF DIRECTION AND AT 9.0m CENTRES AND AT EACH CONNECTION TO AN EXISTING SITE STORMWATER DRAIN
- DOWNPIPES TO BE PROVIDED AT 12m MAX. CENTRES MEASURED LINEARLY
- ANY BOX GUTTERS TO BE MINIMUM 200mm WIDE AND AT 1:100 GRADE

18. ALL EXPOSED DOWNPIPES TO BE ZINCALUME OR SELECTED COLOUR BOND FINISH. PROVIDE 90mm DIAMETER, HEAVY DUTY PVC DRAIN WITH MIN. 1:100 FALL. PROVIDE MIN. 75mm DIAMETER DOWNPIPES AT 12m CENTRES.

19. ALL EXTERNAL CLADDING TO BE INSTALLED AND WATERPROOFED TO MANUFACTURERS SPECIFICATIONS.

20. ARTIFICIAL LIGHTING NOT TO EXCEED:  
 \*IN CLASS 1 BUILDING: 5 W/m<sup>2</sup>  
 \*ON VERANDAH OR BALCONY TO A CLASS 1 BUILDING: 4 W/m<sup>2</sup>  
 \*IN CLASS 10a BUILDING ASSOCIATED WITH A CLASS 1 BUILDING: 3 W/m<sup>2</sup>

21. REFER TO SOIL REPORT FOR SOIL CLASSIFICATION.

**BUSHFIRE ATTACK LEVEL (B.A.L.) IS LOW**

### TERMITE TREATMENT :

TERMITE TREATMENT TO SUB-FLOOR TO A.S. 3660 - 2000 PROVIDE 400mm CLEARANCE TO BEARERS WHERE PHYSICAL BARRIERS ARE USED. A DURABLE NOTICE MUST BE INSTALLED IN THE METER BOX IN ACCORDANCE WITH B.C.A. PART 3.1.3.

## FRAMING SPECIFICATION

MEMBER	SIZE (mm)	MAX. SINGLE SPAN	MAX. CONT. SPAN	MAX. SPACING	STRESS GRADE
ROOF TRUSSES	PREFABRICATED TIMBER ROOF TRUSSES AT 600 CENTRES TO MANUFACTURERS DESIGN & SPECIFICATIONS				
ROOF BATTENS	35 X 70 35 X 90	-	-	330 CRS. 900 CRS	F5 T/PINE
RIDGE & HIPS	REFER TO ENGINEERS DESIGN AND SPECIFICATIONS FOR MGP GRADE ROOFING MEMBERS AS REQUIRED.				
RAFTERS - PITCHED					
ROOF PROPS					
COLLAR TIES					
UNDERPURLINS					
CEILING JOISTS					
ROOF BEAMS (FLAT ROOF)	190 X 45	7000	7200	600 CRS.	F17 KDHW
ENGINEER DESIGNED BEAMS	REFER TO COMPUTATIONS AND PLANS AS REQUIRED.				
TOP PLATES	2/90 X 35 (F/F) 90 X 45 (G/F)	-	-	-	MGP 10 PINE
BOTTOM PLATES	90 X 35 (G/F) 90 X 45 (F/F)	-	-	-	MGP 10 PINE
COMMON STUDS	90 X 45 90 X 35 (Internal)	-	-	450 CRS.	MGP 10 PINE
CORNER STUDS	90 X 45	-	-	-	MGP 10 PINE
JAMB STUDS	2/90 X 45	-	-	-	MGP 10 PINE
NOGGINGS	70 X 35	-	-	-	F5 PINE
ANGLE BRACING	20 GAUGE GALVANISED 'L' STRAP				
FLOORING	108mm X 19mm K.D.H.W. T. & G. (ONLY IF NOMINATED IN PROJECT SPECIFICATION) 19mm YELLOW TONGUE PARTICLE BOARD (AS PER SPECIFICATION)				
FLOOR JOISTS (LOWER)	90 X 45	1800	2100	450 CRS.	F17 KDHW
(UPPER)	REFER TO ENGINEERS				
BEARERS	2/90 X 35	1600 (N.L.B.) 1200 (L.B.)	2000 (N.L.B.) 1600 (L.B.)	1800 CRS.	F17 KDHW
STUMPS	100 X 100 CONCRETE				
PADS	300 X 300 X 150 CONCRETE FOUNDED 100mm INTO NATURAL CLAY, OR TO A MIN. FOUNDING DEPTH OF 600mm (WHICHEVER IS THE DEEPER)				
STRIP FOOTINGS	300 X 300 X 500D STRIP FOOTINGS, BASED AT MIN. 600MM (100MM INTO NATURAL CLAY) OR AS DIRECTED BY THE SOIL REPORT (WHICHEVER IS DEEPER).				
SITE CLASSIFICATION: CLASS ( ) - REFER TO ENGINEERS REPORT					
o ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF A.S 1684 - 2010 NATIONAL TIMBER FRAMING CODE.					
o REFER TO WINDOW SCHEDULE FOR ALL LINTEL SIZES AS REQUIRED.					

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### REVISION:

- Add energy rating note	10/05/17
- Keep existing bed 3 wall near boundary & reduce staircase wall	11/07/17
- Revision as building surveyor checklist	06/09/17
-	-
-	-

### DATE:

### PROJECT:

**GROUND & FIRST FLOOR ADDITION / RENOVATION**

### FOR:

**HELEN VOOGT-DILLON & MIKE VAN DER MEER**

### AT:

**21 CAIRNES CRESCENT, MALVERN EAST, VIC. 3145**

### SCALE: 1:100

### MEL: -

JOB No.: 17006

SHEET: A3

CAD FILE No.: 17006WD

COUNCIL: STONNINGTON

DATE: 28/03/17

REV: 29/11/17

DRAWN: S.E.

SHEET: 2 OF 16

### MEMBER



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 RBP No. DP-AD 18369  
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 ACN 118 329 123

DWELLING: 136.5 SQM.  
 PORCH: 5.0 SQM.  
 GARAGE: 16.5 SQM.  
 DECKING: 4.8 SQM.

BUILDER TO DEMOLISH & REMOVE EXISTING FLAT ROOF STRUCTURE INCLUDING STEEL SHEET ROOFING, BREAK UP & REMOVE EXISTING SUB-FLOOR, DEMOLISH & REMOVE PART OF EXISTING DOUBLE BRICK WALL INCL WINDOW & DOORS, AND MAKE GOOD AREA AS NECESSARY.

BUILDER TO CREATE NEW OPENING IN EXISTING DOUBLE BRICK WALL TO SUIT NEW HINGED DOOR 'B', AND MAKE GOOD AFFECTED SURFACES AS NECESSARY.

BUILDER TO DEMOLISH & REMOVE EXISTING ROOF STRUCTURE INCLUDING ALL DOORS & WINDOWS, WALLS, TILES & STEEL SHEET ROOFING, DISCONNECT PLUMBING & ELECTRICAL TO EXISTING BATHROOM, WC & LAUNDRY, (CUT / SEAL POINTS), REMOVE ALL FIXTURES & FITTINGS, DEMOLISH & REMOVE EXISTING DECKING & CONCRETE STEPS, DISCONNECT & REMOVE EXISTING HWS, CUT / SEAL PLUMBING, AND MAKE GOOD AREA AS NECESSARY.

BUILDER TO DISCONNECT PLUMBING & ELECTRICAL TO EXISTING KITCHEN & BATHROOM, REMOVE APPLIANCES / CABINETS (INCLUDING WALL TILES), CUT / SEAL POINTS, DEMOLISH & REMOVE EXISTING BRICK WALLS INCLUDING DOORS & WINDOWS, REMOVE EXISTING SKYLIGHT TO SUIT NEW WORKS, AND MAKE GOOD AFFECTED SURFACES AS NECESSARY. (NOTE: NEW KITCHEN BY OTHERS)

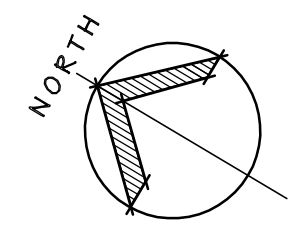
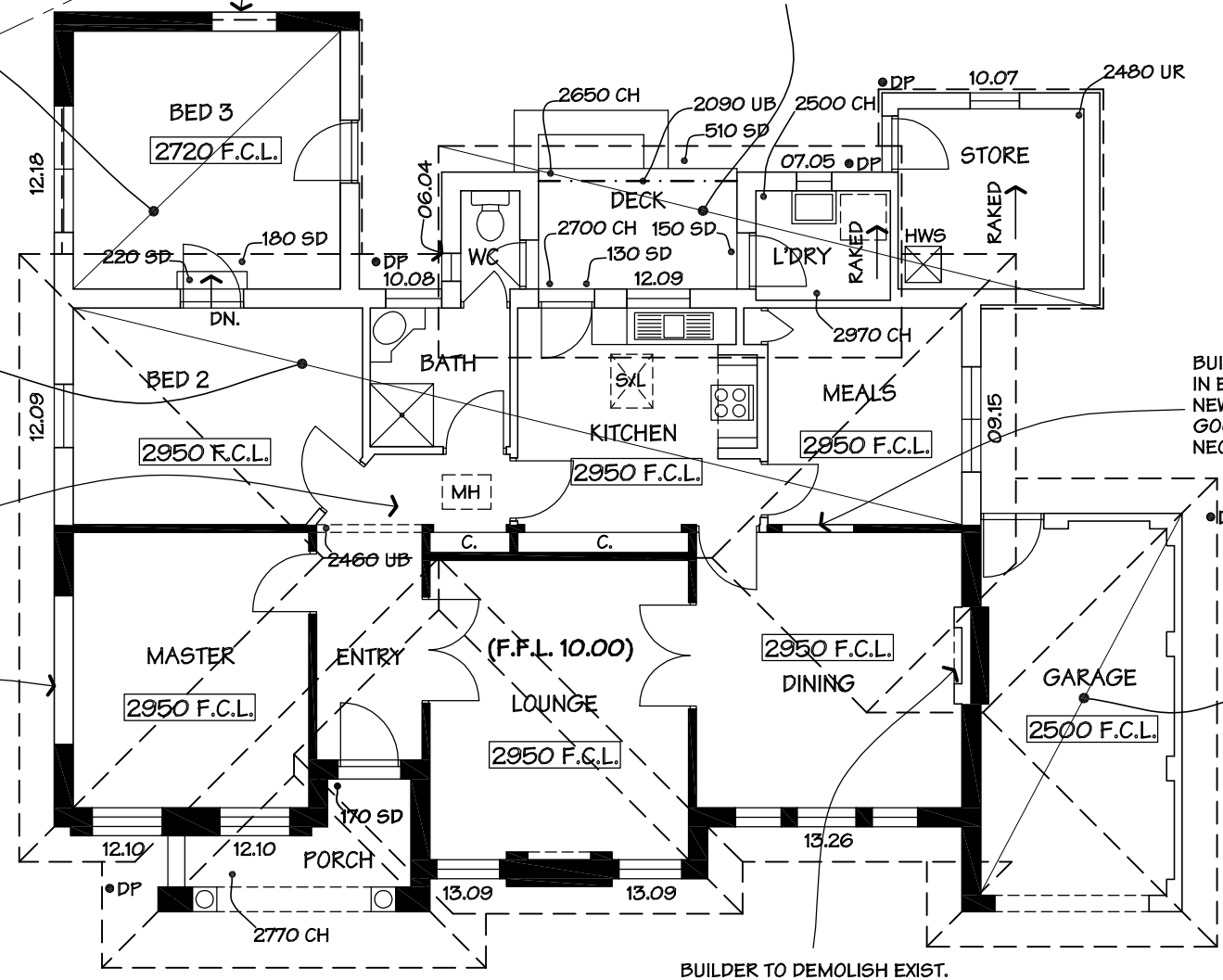
DEMOLISH AND REMOVE PART EXISTING ROOF STRUCTURE IN THE WAY OF NEW FIRST FLOOR ADDITION OVER, INSTALL NEW FLOOR AND WALL FRAME, RE-ATTACH ROOF STRUCTURE TO NEW WORKS AND MAKE GOOD AFFECTED SURFACES AS NECESSARY.

BUILDER TO CREATE NEW OPENING IN EXISTING DOUBLE BRICK WALL TO SUIT NEW WINDOWS No.1, AND MAKE GOOD AFFECTED SURFACES AS NECESSARY.

BUILDER TO CREATE NEW OPENING IN EXISTING BRICK WALL TO SUIT NEW HINGED DOOR, AND MAKE GOOD AFFECTED SURFACES AS NECESSARY.

BUILDER TO DEMOLISH & REMOVE EXISTING GARAGE ROOF STRUCTURE INCLUDING ALL DOORS, WALLS, TILES ROOFING TO SUIT NEW WORKS, AND MAKE GOOD AREA AS NECESSARY.

BUILDER TO DEMOLISH EXIST. CHIMNEY IN THE WAY OF NEW WORKS, RENDER FIREPLACE INOPERABLE & MAKE GOOD AS NECESSARY.

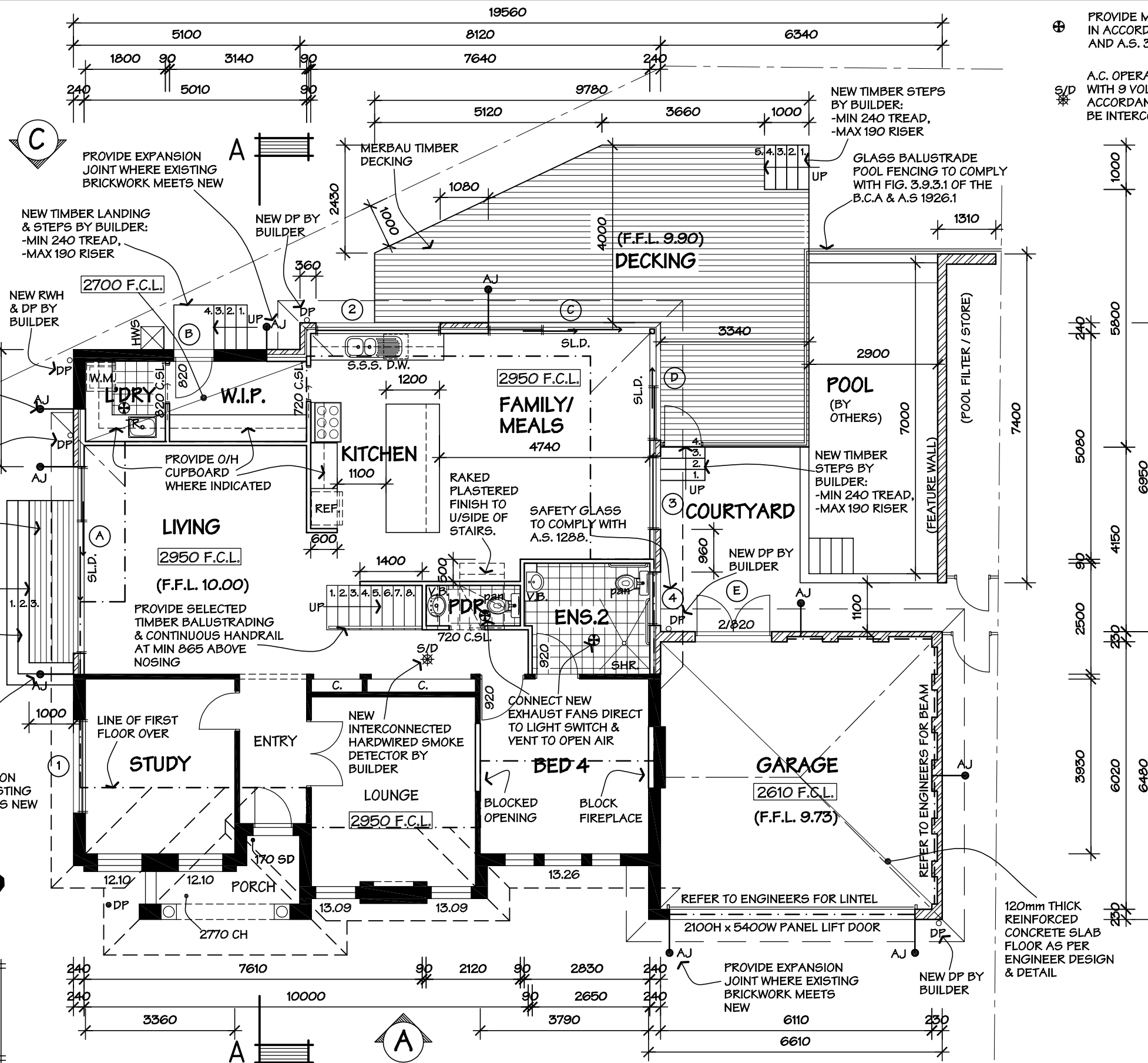


# EXISTING FLOOR / DEMOLITION PLAN

SCALE 1:100

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	<p>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</p>	<p>DATE:</p> <p>11/07/17</p>		<p>JOB No.: 17006</p> <p>SHEET: A3</p>			
	<p>- Revision as building surveyor checklist</p>	<p>DATE:</p> <p>06/09/17</p>		<p>CAD FILE No.: 17006WD</p> <p>COUNCIL: STONNINGTON</p>			
	-	-		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>			
	-	-		<p>DRAWN: S.E.</p> <p>SHEET: 3 OF 16</p>			

AREAS :	SG.METRES	SQUARES
GROUND FLOOR	161.6	16.3
FIRST FLOOR	106.6	10.7
GARAGE	41.2	4.1
PORCH	5.0	0.5
DECKING	45.8	4.6
<b>total:</b>	<b>360.2</b>	<b>36.3</b>



# PROPOSED GROUND FLOOR PLAN

SCALE 1:100

PLANS TO BE READ IN CONJUNCTION WITH BUILDERS SPECIFICATIONS

⊕ PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH A.S. 1668 AND A.S. 3666

⊛ A.C. OPERATED SMOKE DETECTOR WITH 9 VOLT BATTERY BACK-UP. IN ACCORDANCE WITH AS. 3786 & TO BE INTERCONNECTED THROUGHOUT.

NOTE: DOWNSPIPE LOCATIONS ARE INDICATIVE ONLY. PLUMBER TO DETERMINE EXACT LOCATIONS ON SITE AT 12.0m MAX. CTS.

CONNECT 90 DIA. CLASS 6 P.V.C. S.W.D. TO LEGAL POINT OF DISCHARGE. MIN. GRADE 1:100 W/MIN 100 COVER ALL TO LOCAL AUTHORITIES REQUIREMENTS.

TRUSSES TO BE SUPPORTED ON EXTERNAL STUD WALLS ONLY.

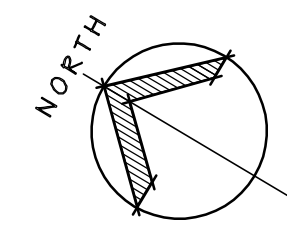
## GARAGE NOTES:

FOOTING AS PER ENGINEER DESIGN & DETAIL

PROVIDE HOOP IRON HOLDING DOWN STRAPS AT 1000mm SPACING, 1800mm DOWN INTO BRICKWORK TO GARAGE

FOOTINGS TO BE CONTINUOUS ACROSS ALL OPENINGS

BRICK PIERS TO BE ENGAGED EVERY FOURTH COURSE OF BRICKWORK

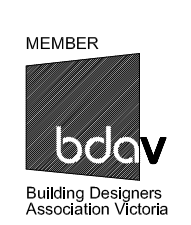


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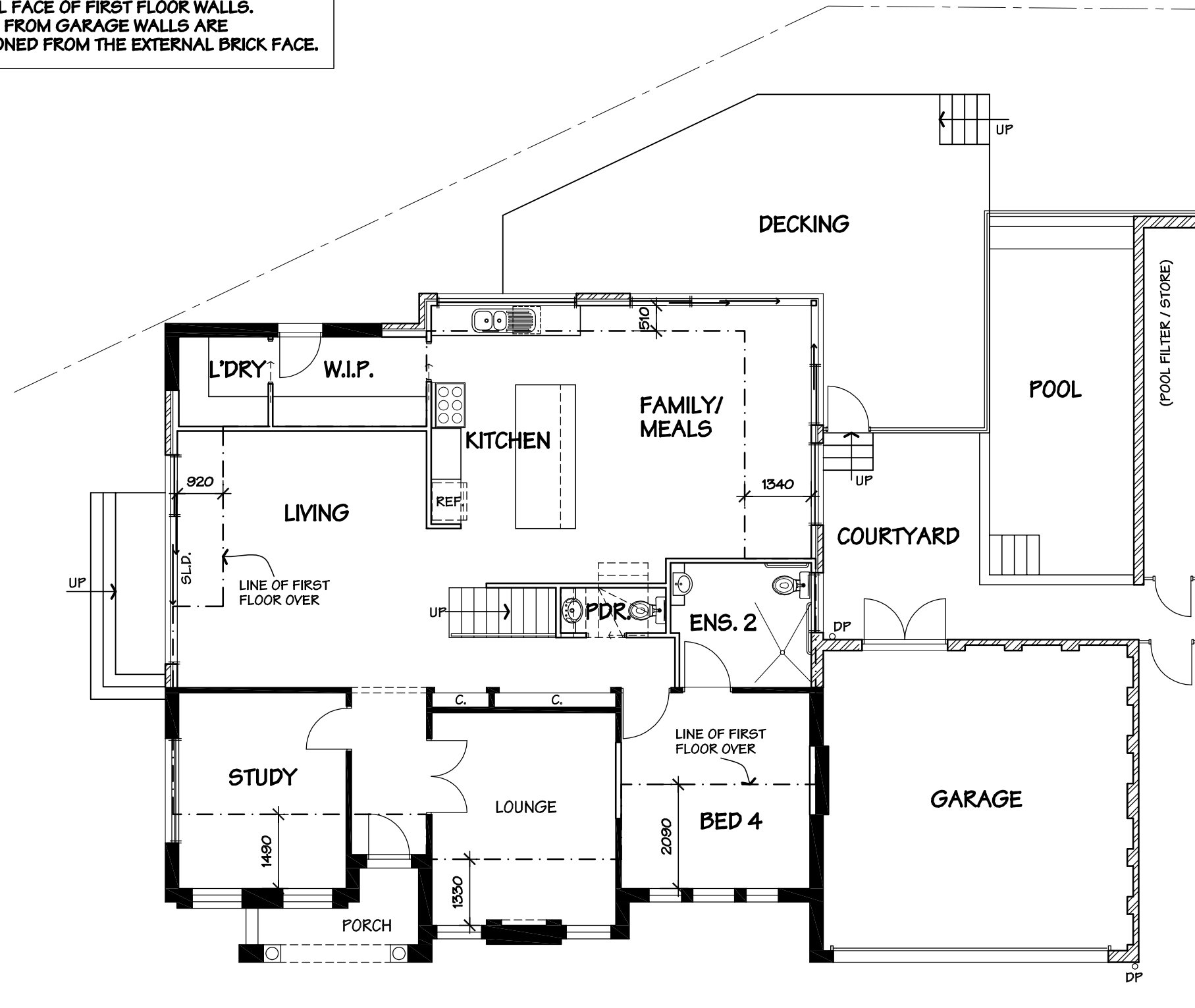
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UPPER FLOOR OFFSET DIMENSIONS ARE TAKEN FROM INTERNAL FACE OF STUD WALL TO EXTERNAL FACE OF FIRST FLOOR WALLS. OFFSETS FROM GARAGE WALLS ARE DIMENSIONED FROM THE EXTERNAL BRICK FACE.

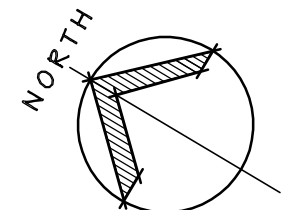


# FIRST FLOOR OFFSET PLAN

SCALE 1:100

## 6 STAR REQUIREMENTS:

- WALL: R2.0 INSULATION BATTS NEW EXTERNAL WALLS & DOUBLE SIDED SISALATION
- CEILING: R5.0 INSULATION BATTS TO EXISTING CEILING & NEW AREA
- FLOOR: R2.0 INSULATION TO GROUND FLOOR TIMBER R3.0 INSULATION TO FIRST FLOOR TIMBER
- FOAM OR RUBBER SEALED TO EDGES OF OPENABLE DOORS & WINDOW SASHES
- SEALED EXHAUST FANS
- CONSTRUCT TO MINIMISE DRAFTS BY GAPS & NON-REQUIRED OPENINGS
- ALL NEW SLIDING DOORS & WINDOWS TIMBER FRAMED WITH SINGLE CLEAR GLAZING WITH A U VALUE OF 5.40 & SHGC 0.56
- WINDOWS A,C,D,2 & 3 -GENERIC DOUBLE GLAZED TIMBER FRAMED WITH A U VALUE 3.0 & SHGC 0.48



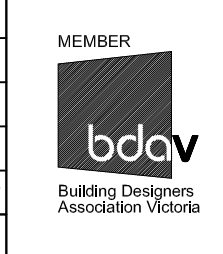
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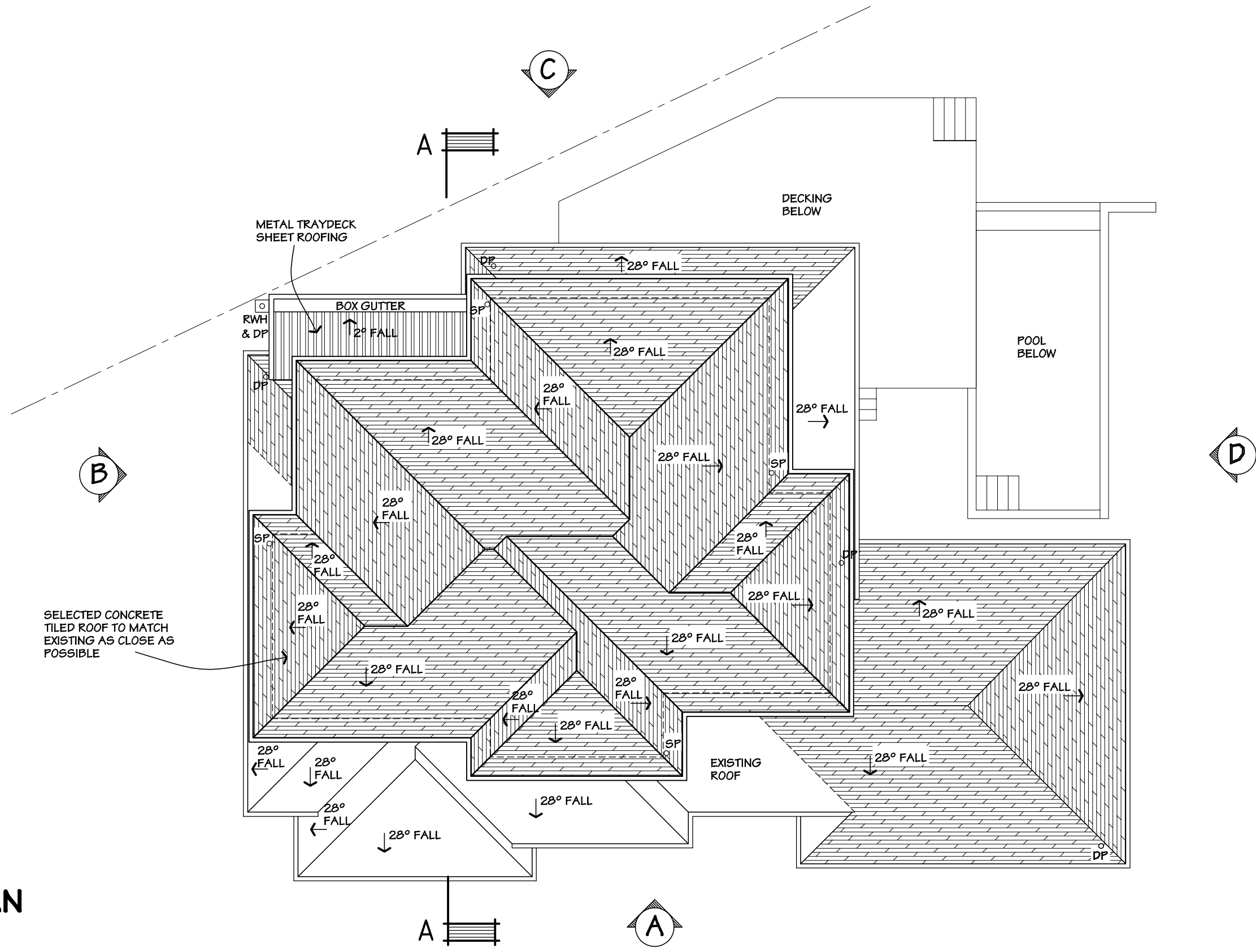
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DATE:	28/03/17	REV:	29/11/17
DRAWN:	S.E.	SHEET:	6 OF 16

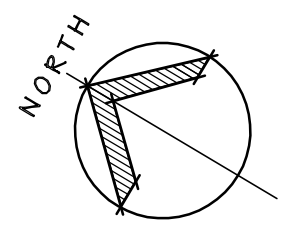


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 Fax: 03 9569 3906  
 Email: [sellis@ausdraft.com.au](mailto:sellis@ausdraft.com.au)  
[www.ausdraft.com.au](http://www.ausdraft.com.au)  
 RBP No. DP-AD 18369  
 ABN 30 118 329 123  
 ACN 118 329 123



# ROOF PLAN

SCALE 1:100



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**NOTE: DO NOT SCALE . WRITTEN DIMENSIONS  
 TAKE PRECEDENCE OVER SCALED.**

REVISION:	DATE:
- Add energy rating note	10/05/17
- Keep existing bed 3 wall near boundary & reduce staircase wall	11/07/17
- Revision as building surveyor checklist	06/09/17
-	-
-	-

PROJECT:	<b>GROUND &amp; FIRST FLOOR ADDITION / RENOVATION</b>
FOR:	<b>HELEN VOOGT-DILLON &amp; MIKE VAN DER MEER</b>
AT:	<b>21 CAIRNES CRESCENT, MALVERN EAST, VIC. 3145</b>

SCALE:	1:100	MEL:	-
JOB No.:	17006	SHEET:	A3
CAD FILE No.:	17006WD		
COUNCIL:	STONNINGTON		
DATE:	28/03/17	REV:	29/11/17
DRAWN:	S.E.	SHEET:	7 OF 16

MEMBER



Building Designers  
Association Victoria



Residential Building Designers

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 ACN 118 329 123

**NOTES:**

TIMBER FRAMING FOR FLOOR AND ROOF TO MANUFACTURERS SPECIFICATIONS.

ALL GLAZING TO AUSTRALIAN STANDARD 1288 - 2006.

WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECS.

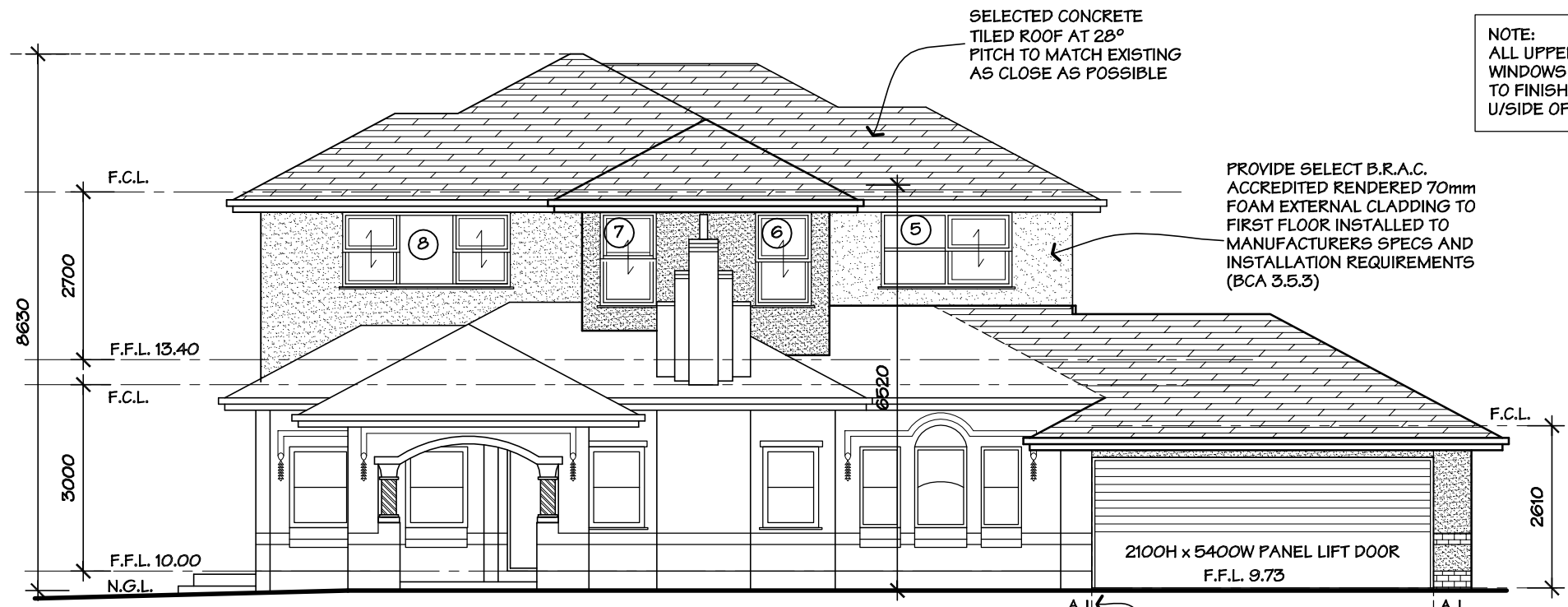
STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

**PLANS TO BE READ IN CONJUNCTION WITH BUILDERS SPECIFICATIONS**

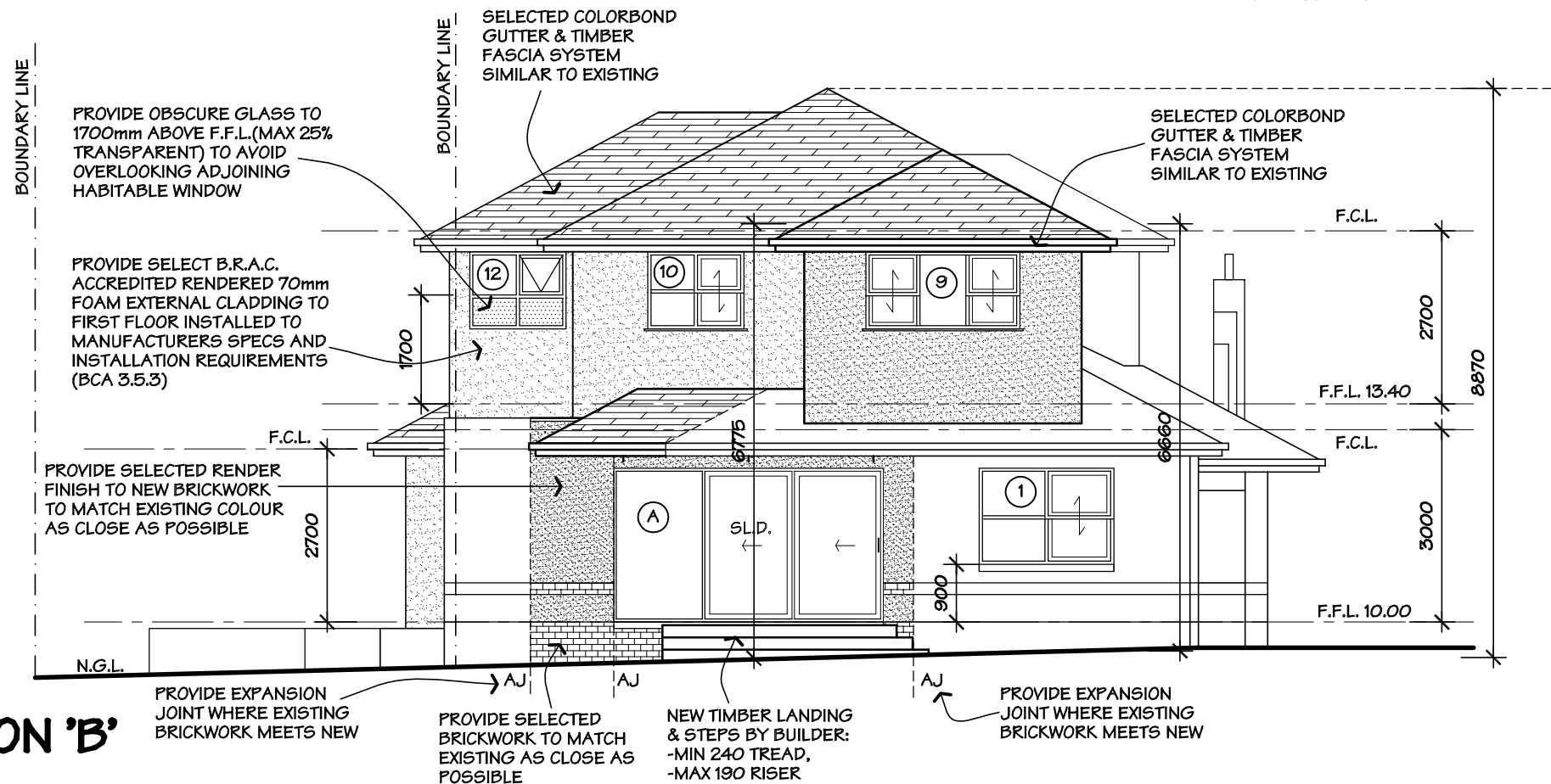
**6 STAR REQUIREMENTS:**

- WALL: R2.0 INSULATION BATTS NEW EXTERNAL WALLS & DOUBLE SIDED SISALATION
- CEILING: R5.0 INSULATION BATTS TO EXISTING CEILING & NEW AREA
- FLOOR: R2.0 INSULATION TO GROUND FLOOR TIMBER R3.0 INSULATION TO FIRST FLOOR TIMBER
- FOAM OR RUBBER SEALED TO EDGES OF OPENABLE DOORS & WINDOW SASHES
- SEALED EXHAUST FANS
- CONSTRUCT TO MINIMISE DRAFTS BY GAPS & NON-REQUIRED OPENINGS
- ALL NEW SLIDING DOORS & WINDOWS TIMBER FRAMED WITH SINGLE CLEAR GLAZING WITH A U VALUE OF 5.40 & SHGC 0.56
- WINDOWS A,C,D,2 & 3 -GENERIC DOUBLE GLAZED TIMBER FRAMED WITH A U VALUE 3.0 & SHGC 0.48



**SOUTH WEST ELEVATION 'A'**

SCALE 1:100



**NORTH WEST ELEVATION 'B'**

SCALE 1:100

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-	-
-	-

**DATE:**

**PROJECT:**

**GROUND & FIRST FLOOR ADDITION / RENOVATION**

**FOR:**

**HELEN VOOGT-DILLON & MIKE VAN DER MEER**

**AT:**

**21 CAIRNES CRESCENT, MALVERN EAST, VIC. 3145**

**SCALE: 1:100**

**MEL: -**

**JOB No.: 17006**

**SHEET: A3**

**CAD FILE No.: 17006WD**

**COUNCIL: STONNINGTON**

**DATE: 28/03/17**

**REV: 29/11/17**

**DRAWN: S.E.**

**SHEET: 8 OF 16**

MEMBER

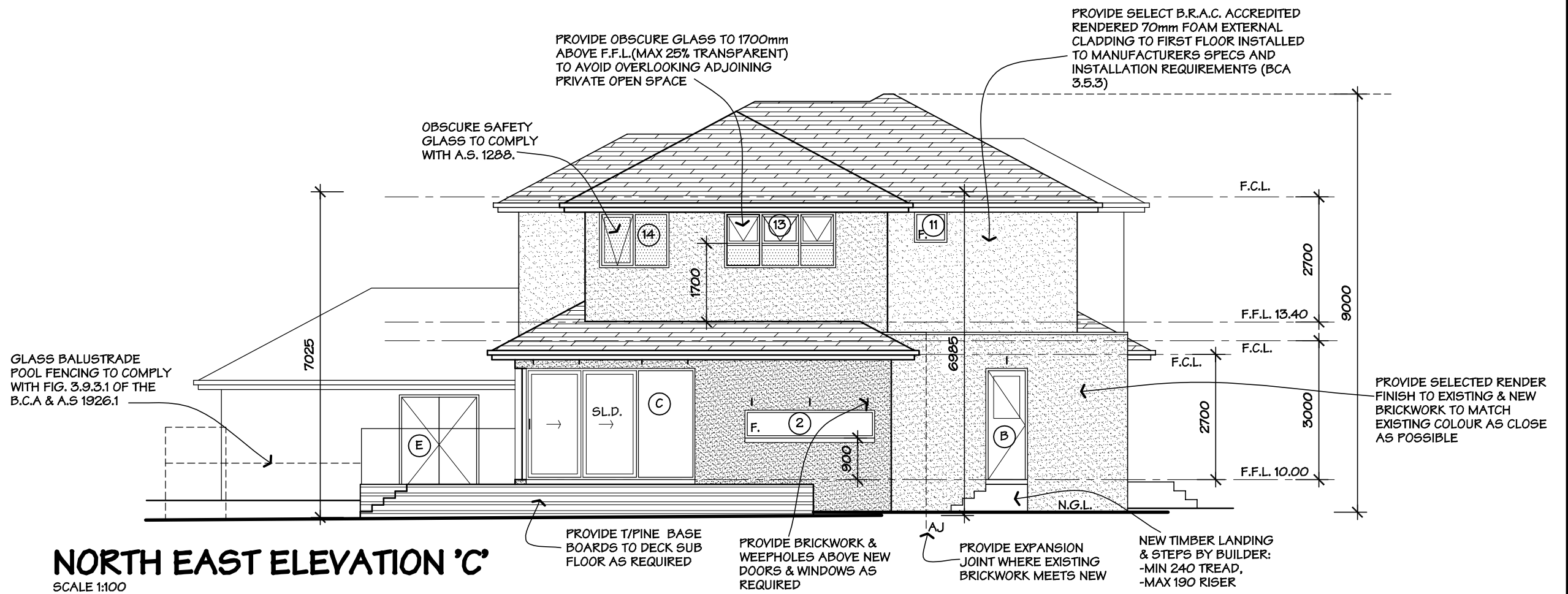


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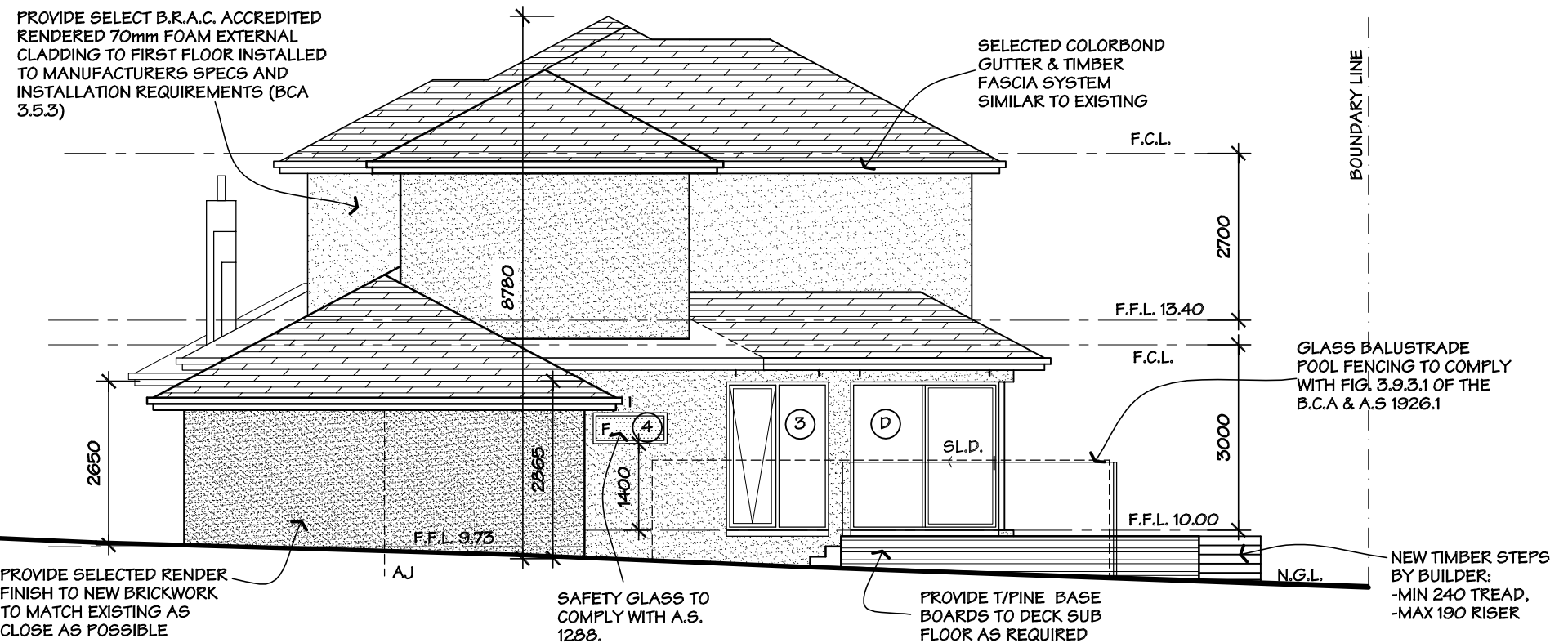
NOTE:  
ALL UPPER FLOOR  
WINDOWS HEAD HEIGHTS  
TO FINISH FLUSH WITH  
U/SIDE OF EAVES



**NORTH EAST ELEVATION 'C'**  
SCALE 1:100

**6 STAR REQUIREMENTS:**

- WALL: R2.0 INSULATION BATTS NEW EXTERNAL WALLS & DOUBLE SIDED SIGALATION
- CEILING: R5.0 INSULATION BATTS TO EXISTING CEILING & NEW AREA
- FLOOR: R2.0 INSULATION TO GROUND FLOOR TIMBER R3.0 INSULATION TO FIRST FLOOR TIMBER
- FOAM OR RUBBER SEALED TO EDGES OF OPENABLE DOORS & WINDOW SASHES
- SEALED EXHAUST FANS
- CONSTRUCT TO MINIMISE DRAFTS BY GAPS & NON-REQUIRED OPENINGS
- ALL NEW SLIDING DOORS & WINDOWS TIMBER FRAMED WITH SINGLE CLEAR GLAZING WITH A U VALUE OF 5.40 & SHGC 0.56
- WINDOWS A,C,D,2 & 3 -GENERIC DOUBLE GLAZED TIMBER FRAMED WITH A U VALUE 3.0 & SHGC 0.48



**SOUTH EAST ELEVATION 'D'**  
SCALE 1:100

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DATE:

10/05/17
11/07/17
06/09/17
-
-

PROJECT:

**GROUND & FIRST FLOOR ADDITION / RENOVATION**

FOR: **HELEN VOOGT-DILLON & MIKE VAN DER MEER**

AT: **21 CAIRNES CRESCENT, MALVERN EAST, VIC. 3145**

SCALE: 1:100

MEL: -	SHEET: A3
JOB No.: 17006	CAD FILE No.: 17006WD
COUNCIL: STONNINGTON	DATE: 28/03/17
REV: 29/11/17	DRAWN: S.E.
SHEET: 9 OF 16	



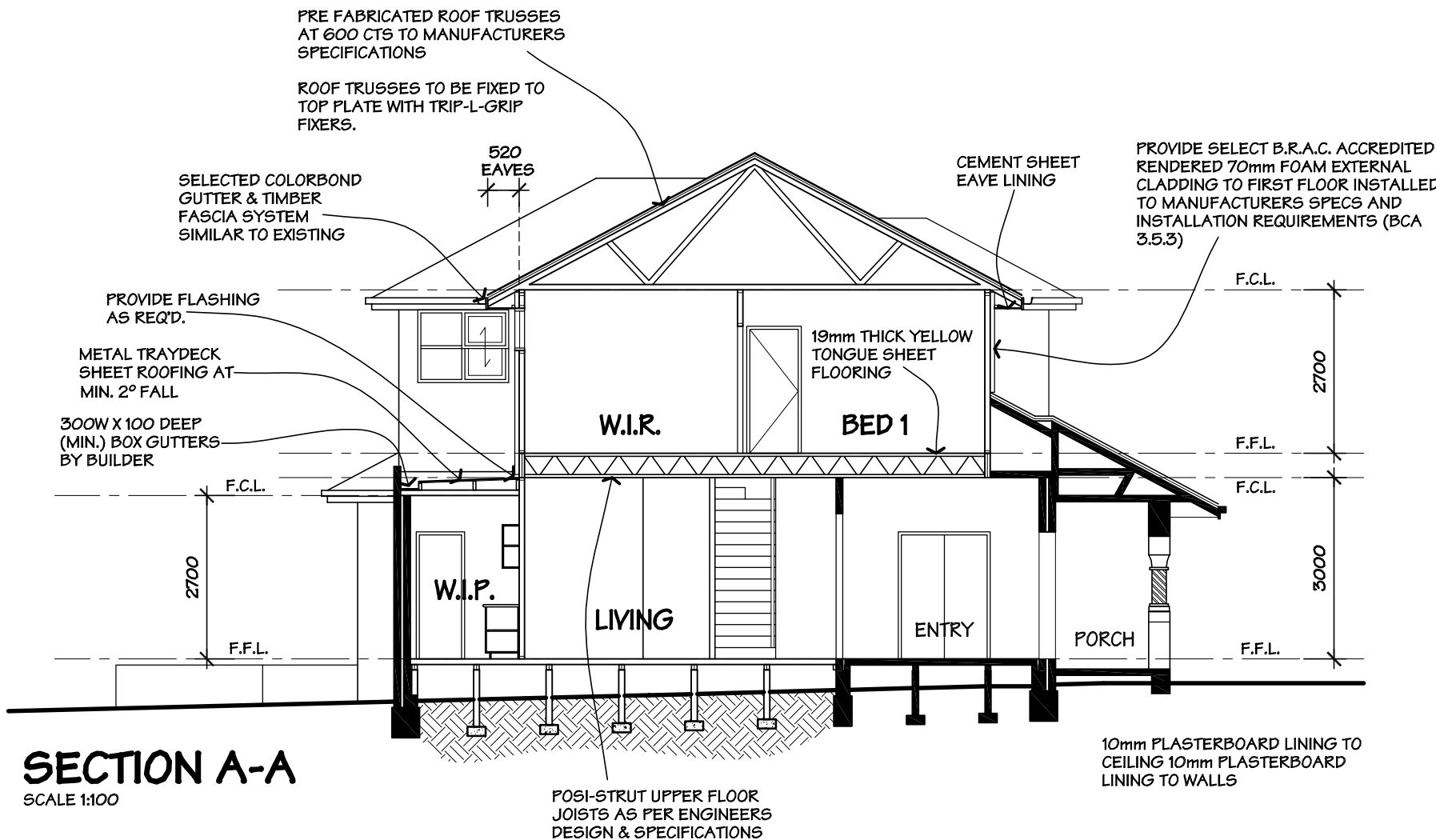
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RBP No. DP-AD 18369  
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ACN 118 329 123

# WINDOW / DOOR SCHEDULE

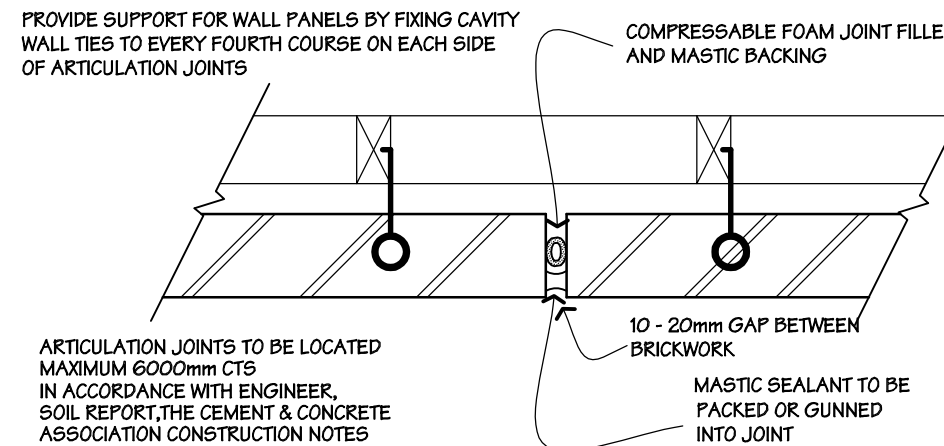
No.	Size (h x w)	Description	Lintel
1	1500 X 2100	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
2	600 X 2800	TIMBER FIXED	REFER TO ENGINEERS
3	2400 X 1650	TIMBER AWNING	REFER TO ENGINEERS
4	500 X 1200	TIMBER FIXED	REFER TO ENGINEERS
5	1200 X 2100	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
6	1500 X 900	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
7	1500 X 900	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
8	1200 X 2700	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
9	1200 X 2400	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
10	1200 X 1500	TIMBER DOUBLE HUNG	REFER TO ENGINEERS
11	650 X 700	TIMBER FIXED	REFER TO ENGINEERS
12	1200 X 1500	TIMBER AWNING	REFER TO ENGINEERS
13	1200 X 2400	TIMBER AWNING	REFER TO ENGINEERS
14	1200 X 1500	TIMBER AWNING	REFER TO ENGINEERS
A	2400 X 4200	TIMBER STACKER SLIDING DOOR	REFER TO ENGINEERS
B	2400 X 820	SOLID TIMBER FULLY GLAZED DOOR	REFER TO ENGINEERS
C	2400 X 3640	TIMBER STACKER SLIDING DOOR	REFER TO ENGINEERS
D	2400 X 2400	TIMBER SLIDING DOOR	REFER TO ENGINEERS
E	2100 X 1720	SOLID TIMBER FULLY GLAZED DOOR	REFER TO ENGINEERS

- \* SIZES SHOWN ARE NOMINAL SIZES ONLY AND ARE SUBJECT TO MANUFACTURERS STANDARD SIZE AND PROFILE.
- \* ALL GLAZING IS TO COMPLY WITH A.S 1288. (2006)
- \* NEW TIMBER AWNING WINDOWS ARE TO CONTAIN ALUMINIUM FRAMED INSECT SCREENS AND WINDOW WINDERS.
- \* NEW BATHROOM & ENSUITE WINDOW No.4 & 14 TO BE OBSCURE GLAZED WITHOUT FIXED VENT.
- \* PROVIDE 150 x 100 x 10 MSA BRICK LINTELS - ALL EXPOSED METAL ANGLE LINTELS TO BE HOT DIPPED GALVANISED.
- \* NEW BATHROOM & ENSUITE WINDOW No.4 & 14 IS TO CONTAIN GRADE "A" SAFETY GLASS.



**ROOF TRUSSES NOT TO BE ORDERED UNTIL AFTER A SITE MEASURE OF EXTERNAL WALLS & CONFIRMATION OF ROOF PITCH**

**REFER TO ENGINEERS DESIGN & DETAILS FOR ALL CONNECTIONS & IMPLEMENTATIONS AS NOTED ON COMPUTATIONS**



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-	-
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PROJECT: **GROUND & FIRST FLOOR ADDITION / RENOVATION**

FOR: **HELEN VOOGT-DILLON & MIKE VAN DER MEER**

AT: **21 CAIRNES CRESCENT, MALVERN EAST, VIC. 3145**

SCALE: 1:100 MEL: -

JOB No.: 17006 SHEET: A3

CAD FILE No.: 17006WD

COUNCIL: STONNINGTON

DATE: 28/03/17 REV: 29/11/17

DRAWN: S.E. SHEET: 10 OF 16



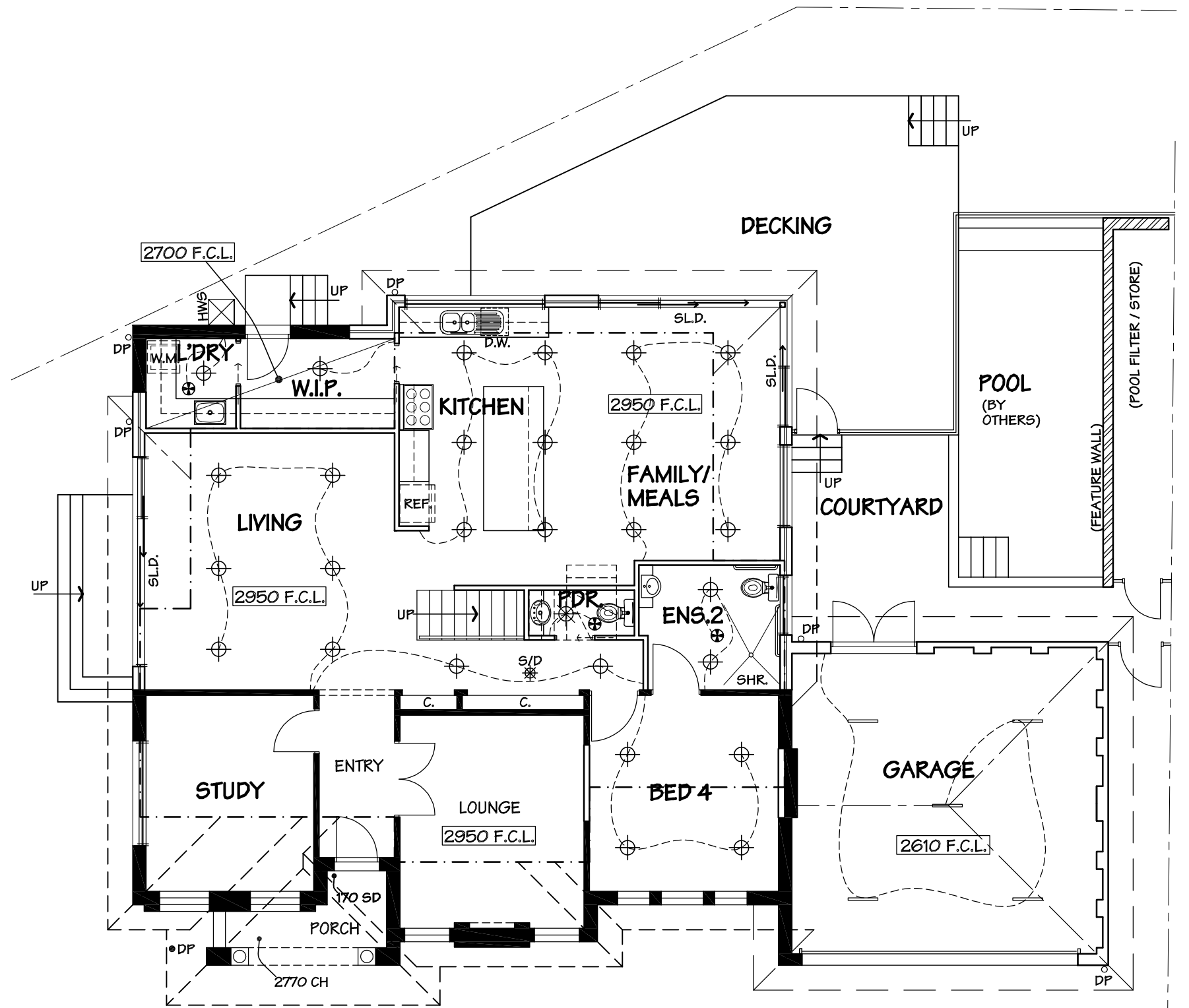
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RBP No. DP-AD 18369  
ABN 30 118 329 123  
ACN 118 329 123

LIGHTING SCHEDULE (AS PER BCA CLAUSE 3.12.5.5)			
CLASS 1 - 10 BUILDINGS			
HOUSE : (268.2 SQM)	.....	MAX. 1341 WATTS	
GARAGE : (41.2 SQM)	.....	MAX. 124 WATTS	
EX. PORCH : (5.0 SQM)	.....	MAX. 20 WATTS	
ROOM TYPE	QTY	FLOOR AREA SQ.METERS	TOTAL WATTS
LIVING & HALLWAY	8	32.0	120 W
BED 4	4	14.9	60 W
ENSUITE 2	2	6.8	30 W
POWDER ROOM	1	1.9	6 W
KITCHEN & FAMILY	12	41.2	180 W
LAUNDRY	1	3.1	15 W
WIP	1	5.8	15 W
SITTING & STAIR AREA	8	28.0	120 W
BED 1	4	20.0	60 W
WIR	2	7.0	30 W
ENSUITE 1	2	6.7	30 W
BED 2	4	15.3	60 W
BED 3	4	15.6	60 W
BATHROOM	2	6.3	30 W
<b>HOUSE</b>	<b>55</b>	<b>204.6 SQM</b>	<b>816 W</b>
<b>GARAGE</b>	<b>4</b>	<b>41.2 SQM</b>	<b>80 W</b>

**LIGHTING LEGEND**

- LED DOWNLIGHT (6 WATT)
- LED DOWNLIGHT (15 WATT)
- FLUORESCENT LIGHT (20 WATT)
- EXHAUST FAN
- SMOKE ALARM TO AS 3786 (INTERCONNECTED)



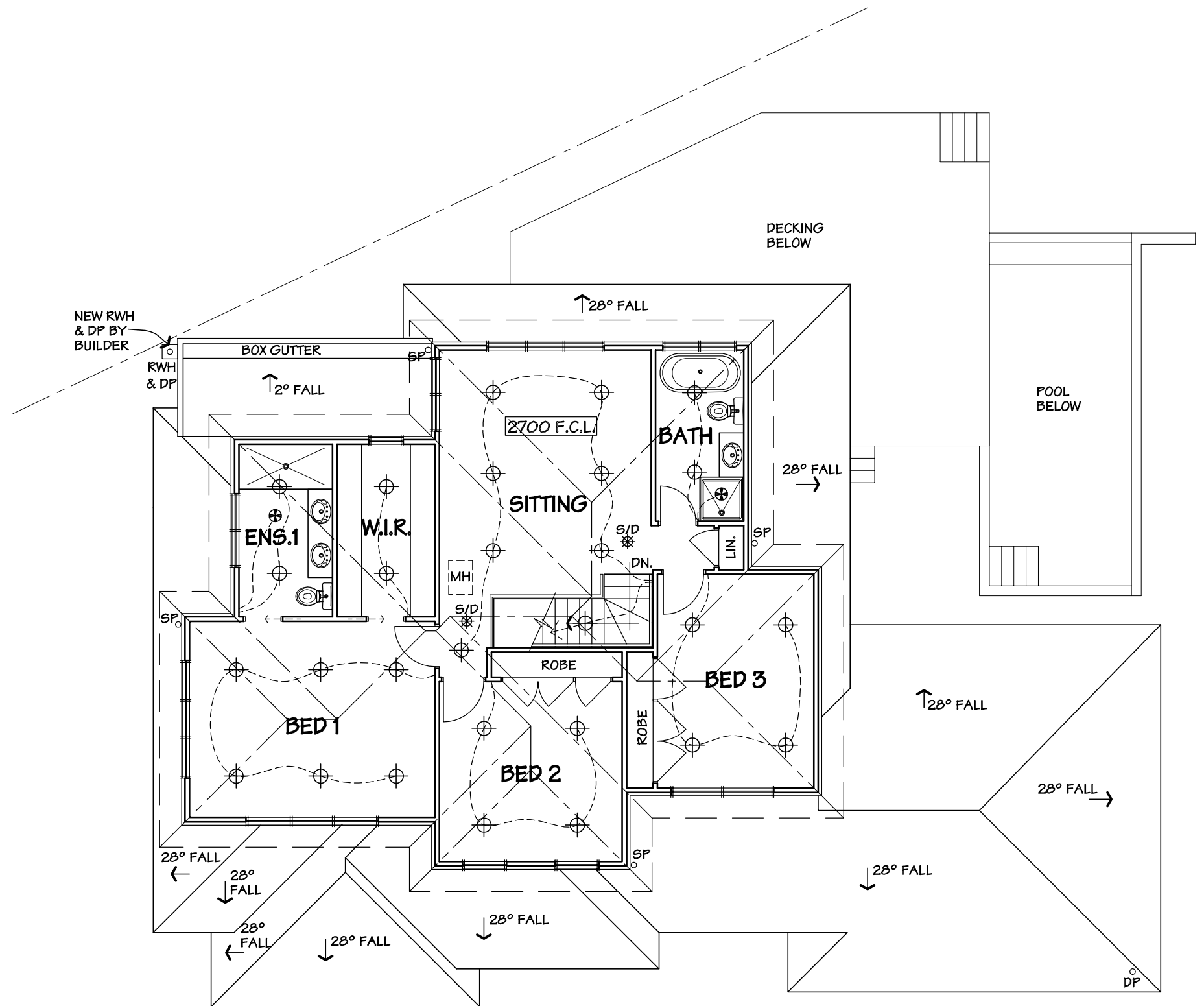
**GROUND FLOOR WATTAGE PLAN**  
SCALE 1:100

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	<p>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</p>	<p>DATE:</p> <p>11/07/17</p>		<p>JOB No.: 17006</p> <p>SHEET: A3</p>			
	<p>- Revision as building surveyor checklist</p>	<p>DATE:</p> <p>06/09/17</p>		<p>CAD FILE No.: 17006WD</p> <p>COUNCIL: STONNINGTON</p>			
	-	-		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>			
	-	-		<p>DRAWN: S.E.</p> <p>SHEET: 11 OF 16</p>			

LIGHTING SCHEDULE (AS PER BCA CLAUSE 3.12.5.5)			
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GARAGE : (41.2 SQM)	.....	MAX. 124 WATTS	
EX. PORCH : (5.0 SQM)	.....	MAX. 20 WATTS	
ROOM TYPE	QTY	FLOOR AREA SQ.METERS	TOTAL WATTS
LIVING & HALLWAY	8	32.0	120 W
BED 4	4	14.9	60 W
ENSUITE 2	2	6.8	30 W
POWDER ROOM	1	1.9	6 W
KITCHEN & FAMILY	12	41.2	180 W
LAUNDRY	1	3.1	15 W
WIP	1	5.8	15 W
SITTING & STAIR AREA	8	28.0	120 W
BED 1	4	20.0	60 W
WIR	2	7.0	30 W
ENSUITE 1	2	6.7	30 W
BED 2	4	15.3	60 W
BED 3	4	15.6	60 W
BATHROOM	2	6.3	30 W
<b>HOUSE</b>	<b>55</b>	<b>204.6 SQM</b>	<b>816 W</b>
<b>GARAGE</b>	<b>4</b>	<b>41.2 SQM</b>	<b>80 W</b>

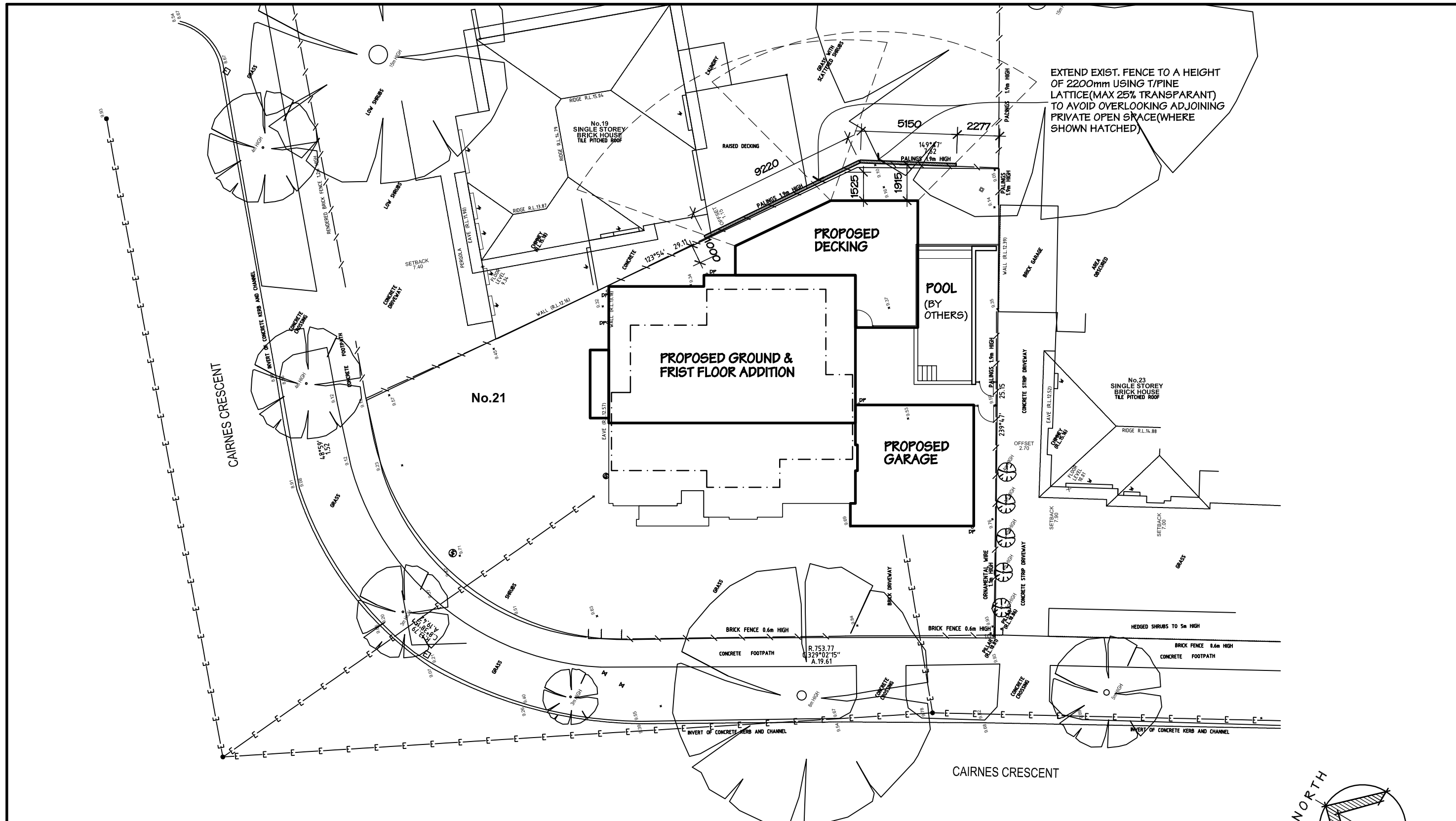
**LIGHTING LEGEND**

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- FLUORESCENT LIGHT (20 WATT)
- EXHAUST FAN
- SMOKE ALARM TO AS 3786 (INTERCONNECTED)



**FIRST FLOOR WATTAGE PLAN**  
SCALE 1:100

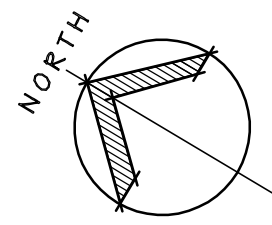
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	-	-		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>			
	-	-		<p>DRAWN: S.E.</p> <p>SHEET: 12 OF 16</p>			



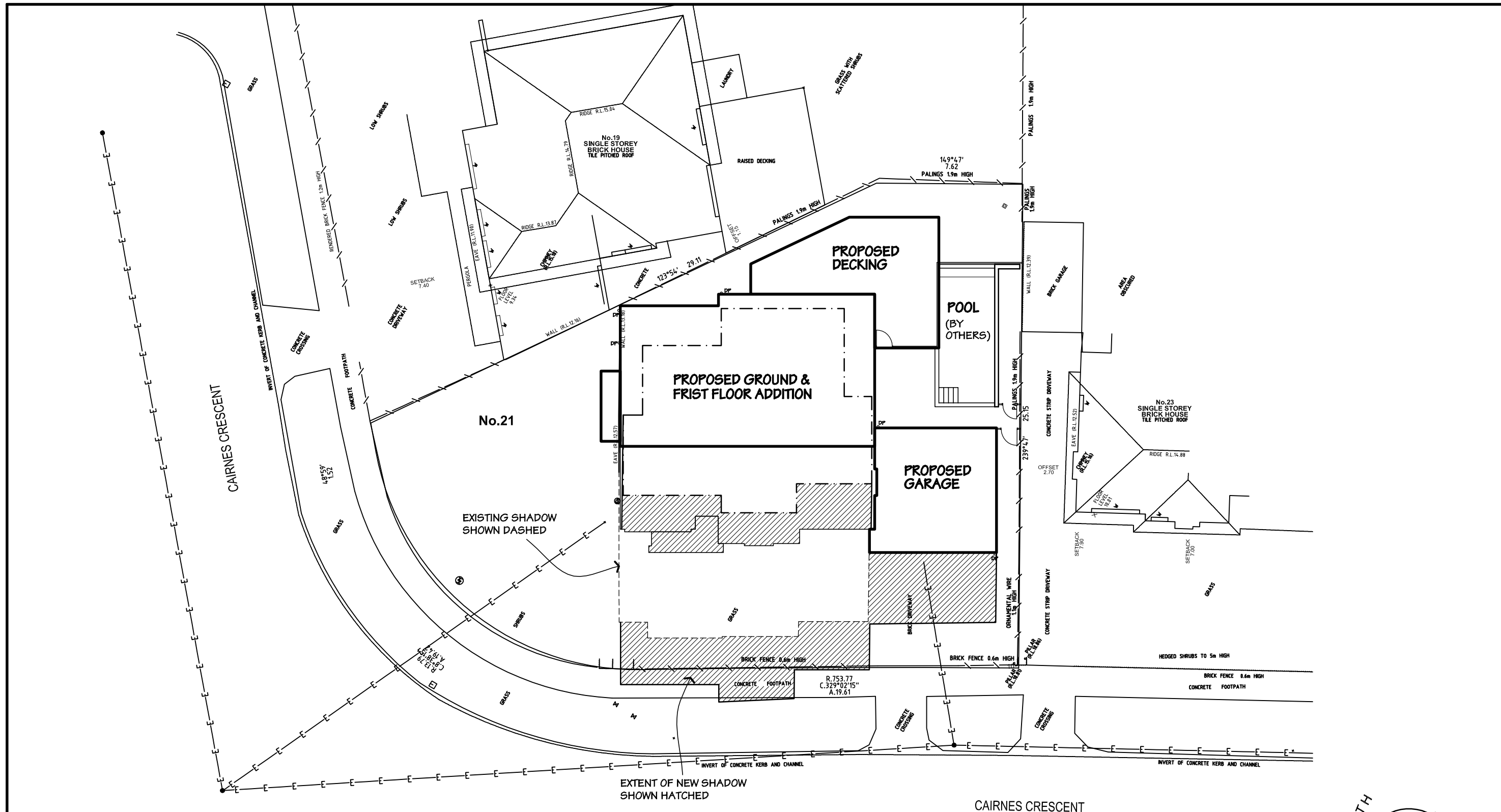
EXTEND EXIST. FENCE TO A HEIGHT OF 2200mm USING T/PINE LATTICE (MAX 25% TRANSPARENT) TO AVOID OVERLOOKING ADJOINING PRIVATE OPEN SPACE (WHERE SHOWN HATCHED)

# OVERLOOKING DIAGRAM

SCALE 1:200

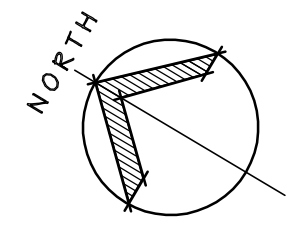


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	<ul style="list-style-type: none"> <li>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</li> <li>- Revision as building surveyor checklist</li> </ul>	<p>11/07/17</p> <p>06/09/17</p>		<p>FOR:</p> <p><b>HELEN VOOGT-DILLON &amp; MIKE VAN DER MEER</b></p>			
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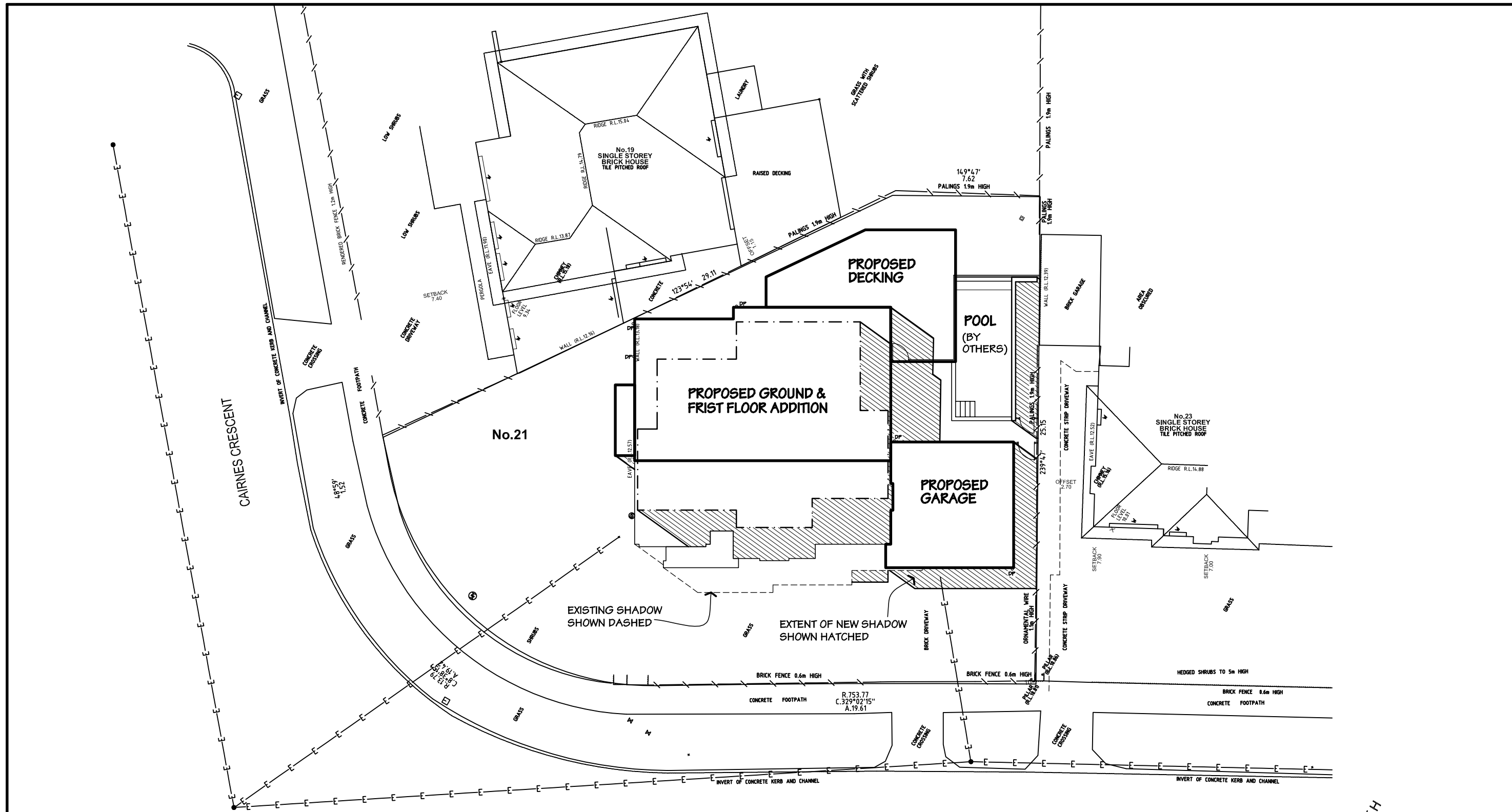


# SHADOW DIAGRAM AT 9 AM

SCALE 1:200

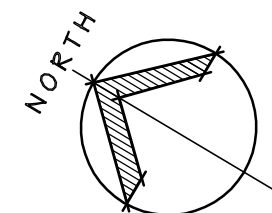


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	<ul style="list-style-type: none"> <li>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</li> </ul>	<p>DATE:</p> <p>11/07/17</p>		<p>JOB No.: 17006</p> <p>CAD FILE No.: 17006WD</p>	<p>COUNCIL: STONNINGTON</p>			
	<ul style="list-style-type: none"> <li>- Revision as building surveyor checklist</li> </ul>	<p>DATE:</p> <p>06/09/17</p>		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>	<p>DRAWN: S.E.</p> <p>SHEET: 14 OF 16</p>			
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	-	-						



# SHADOW DIAGRAM AT 12 PM

SCALE 1:200

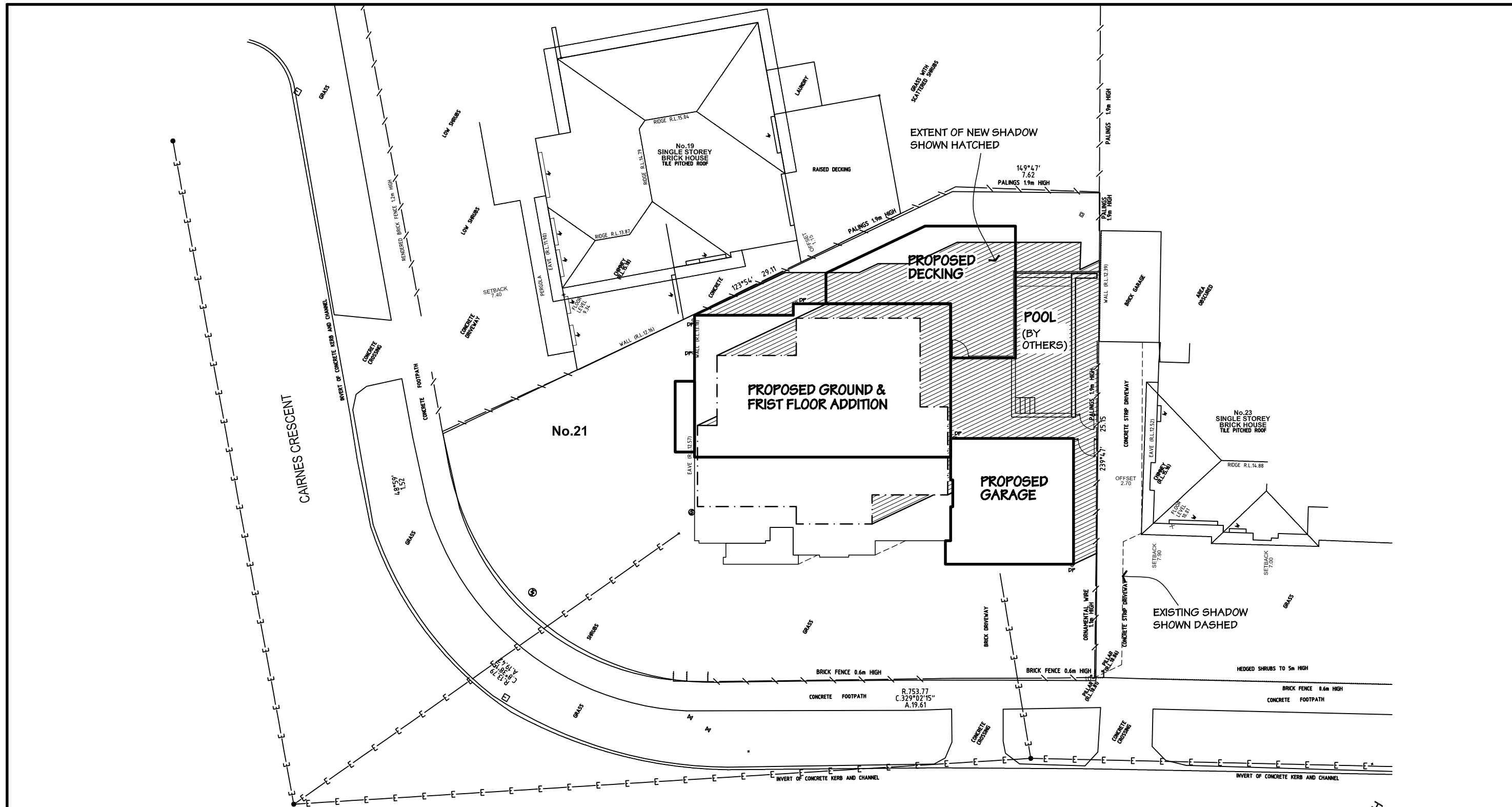


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	<ul style="list-style-type: none"> <li>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</li> </ul>	<p>11/07/17</p>		<p>JOB No.: 17006</p> <p>SHEET: A3</p>	
	<ul style="list-style-type: none"> <li>- Revision as building surveyor checklist</li> </ul>	<p>06/09/17</p>		<p>CAD FILE No.: 17006WD</p> <p>COUNCIL: STONNINGTON</p>	
	-	-		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>	
	-	-		<p>DRAWN: S.E.</p> <p>SHEET: 15 OF 16</p>	



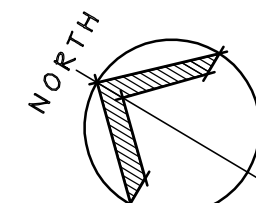
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# SHADOW DIAGRAM AT 3 PM

SCALE 1:200



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	<ul style="list-style-type: none"> <li>- Keep existing bed 3 wall near boundary &amp; reduce staircase wall</li> </ul>	<p>11/07/17</p>		<p>JOB No.: 17006</p> <p>SHEET: A3</p>	
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	-	-		<p>DATE: 28/03/17</p> <p>REV: 29/11/17</p>	
	-	-		<p>DRAWN: S.E.</p> <p>SHEET: 16 OF 16</p>	
<p>407 Waverley Road, Malvern East, VIC. 3145</p> <p>Ph. 03 9571 5525</p> <p>Fax: 03 9569 3906</p> <p>Email: <a href="mailto:sellis@ausdraft.com.au">sellis@ausdraft.com.au</a></p> <p><a href="http://www.ausdraft.com.au">www.ausdraft.com.au</a></p> <p>RBP No. DP-AD 18369</p> <p>ABN 30 118 329 123</p> <p>ACN 118 329 123</p>			<p>Residential Building Designers</p>		